

## 4.5 CPIOZ DISTRICTS

As previously mentioned, most areas within the North Park community planning area (minus historic districts, schools, and parks/canyon areas) fall within either the public realm or one of four CPIOZ districts. These four districts are: core areas, mixed-use corridor areas, consistent character areas, and diverse character areas. By organizing guidelines by geographic area, a reader will have a consolidated set of guidelines for any property which falls within that district. Also, the following guidelines were carefully cross-referenced with existing guidelines in the LDC and MCCPD so as to avoid duplication/contradiction of guidelines. The beginning of each CPIOZ district discussion includes a matrix which identifies where certain topics are addressed.

### 4.5.1 CORE AREAS

Core areas are commercial areas located at the major crossroads and urban nodes of North Park where the building storefronts define the street environment and support retail and social interaction in the public realm, without being dominated by parking areas and vehicular access points into these parcels.

#### CHARACTER DEFINING FEATURES OF THE CORE AREAS

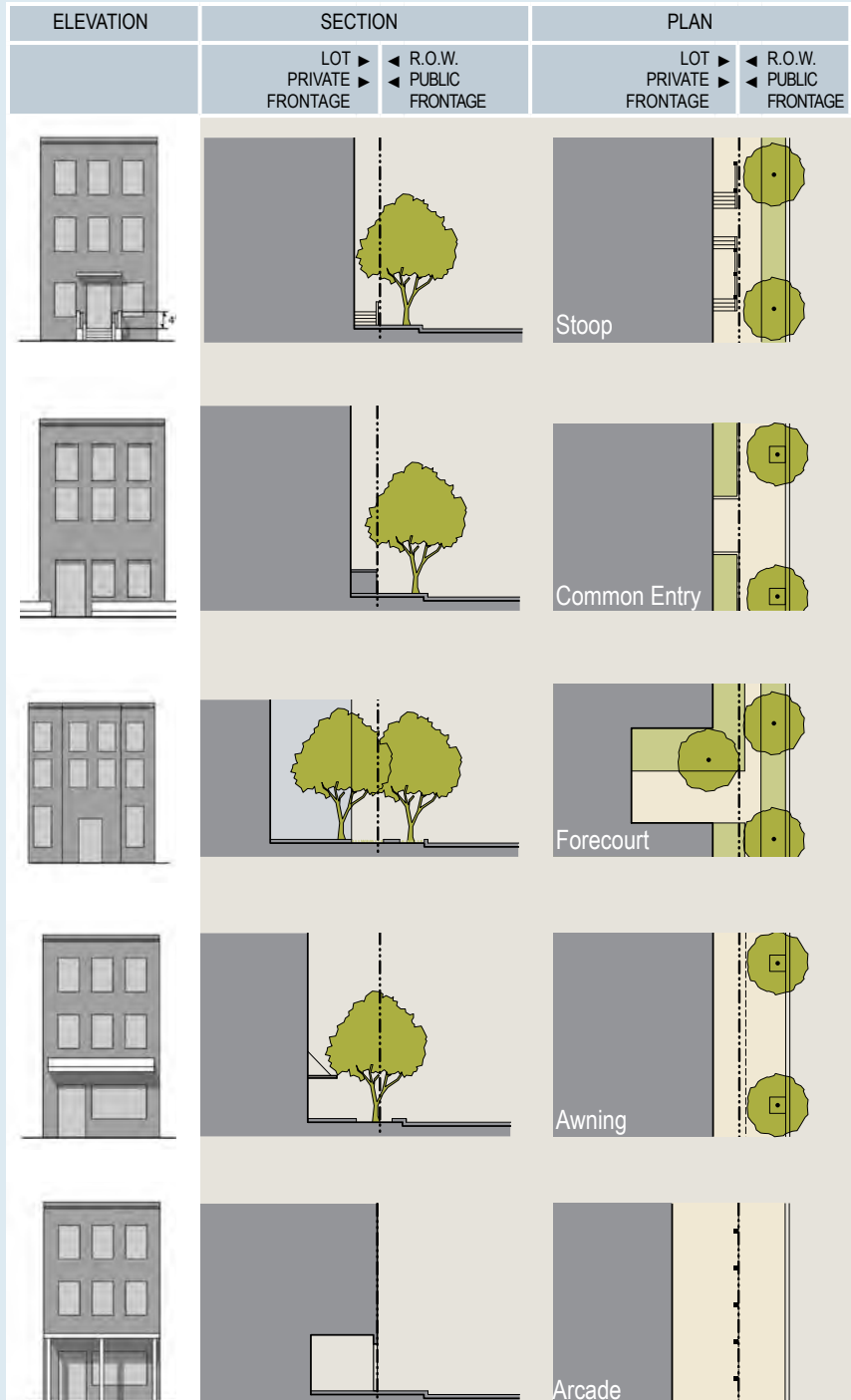
The main street areas of the Core of North Park evolved as pedestrian accessed community commercial areas, with side by side buildings that also come to the front of the parcel at the street. These retail establishments were well distributed throughout community and represent the opposite of the “big box” retail sizing of present day. They were often downstairs businesses with upstairs residents and direct pedestrian connections to neighborhoods. They were born of the electric street car era, grew up with increased urbanization and survived the car-centric era of the last half century. The common elements that should be recognized include:

1. A continuous street wall with small storefronts that are between 30’ to 100’ in street frontage, corresponding with many of the parcel widths in these areas.
2. When a building was greater than 100’ of street frontage width, storefronts were typically broken down into smaller store components.
3. Attention of design centered on the street view, with simple storefronts with some ornamentation and geometric patterning across the top of the windows and entrances with entries oriented towards the primary street.
4. A de-emphasis of parking.
5. Integral signage that fit into the architectural forms as insets, blades, columns or awnings.
6. An integration of public space into the building façade that encourages entry, visual penetration and activation of the building to street interface.
7. Overhangs, awnings, insets, entrance alcoves, deepened doorways all to make the transition between interior space and public space work better.
8. A pedestrian scale that is larger than the residential scale of neighborhoods, but not monumental scales that overpower adjacent land uses. The transition of scale can be accomplished by the use of setbacks, stepbacks, view protection, sunlight access and a concentration of design detail yielding to simplicity at higher elevations that focuses on the at street levels of detailing that provide visual interest and pedestrian scale.
9. Shade, lighting, street furnishings, and protection from vehicular traffic that encourages the use of the right of way and front sides of buildings for outdoor uses, retail display, gathering and social interaction.
10. Building materials that include stone, brick, metal lattice, stucco, plaster, glass and wood.

## Core Areas 1: *The most intense and well-connected commercial, residential, and institutional areas. Core buildings and streets frame our most urban places.*

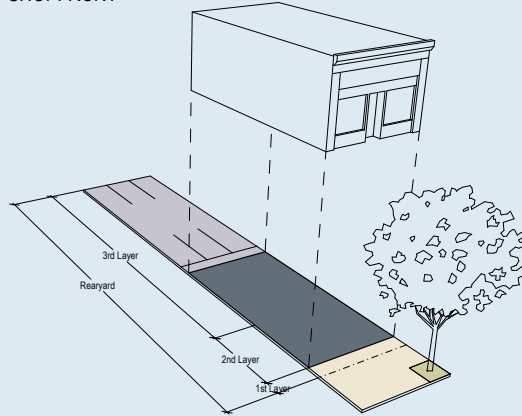
The pedestrian experience is determined by the building assembly alongside the road. Pedestrians respond in a variety of ways to the experience of passing by specific ground-floor frontages.

The Stoop facade is aligned close to the frontage line with the ground story elevated from the sidewalk, securing privacy for the windows. This type is suitable for ground-floor residential with townhouses and apartment buildings. A Common Entry uses planter boxes to step back from the streetscape. The Forecourt facade is aligned close to the frontage line with a portion of it set back. The forecourt created is suitable for gardens, vehicular drop offs, and utility off loading. The Awning facade is aligned close to the frontage line with the entrance at sidewalk grade. This type is conventional for retail frontage. The Arcade facade overlaps the sidewalk above while the ground story remains set at the lot line. This type is typical for retail use.

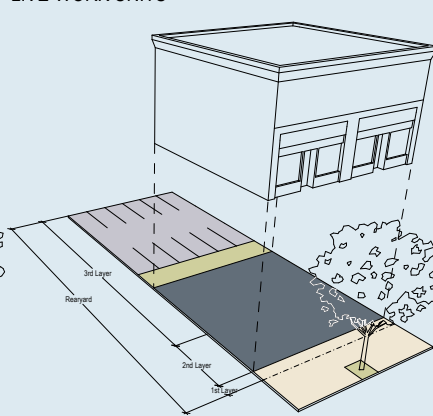


# Core Areas 2: *The character of a building is determined partly by it's form and partly by the placement of the building on a site.*

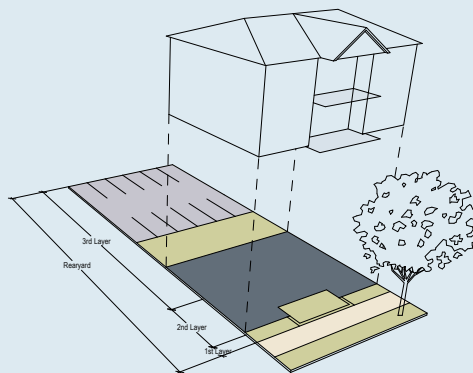
SHOPFRONT



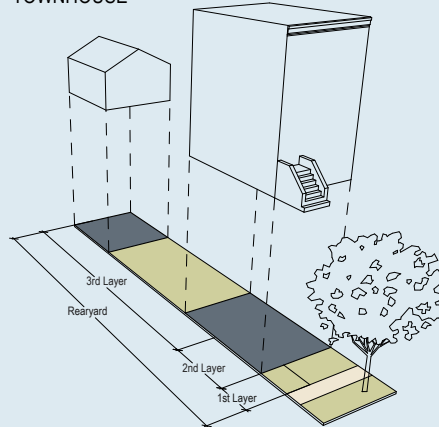
LIVE-WORK UNITS



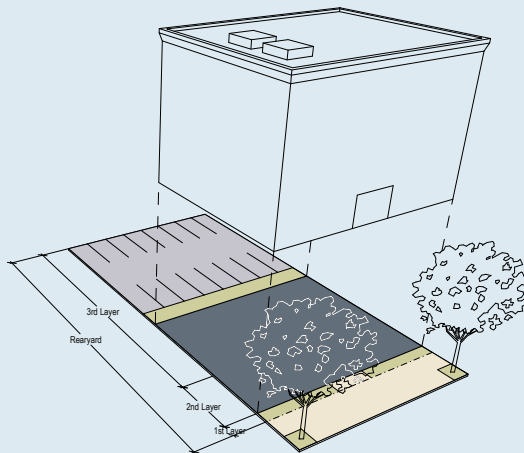
STACKED FLATS



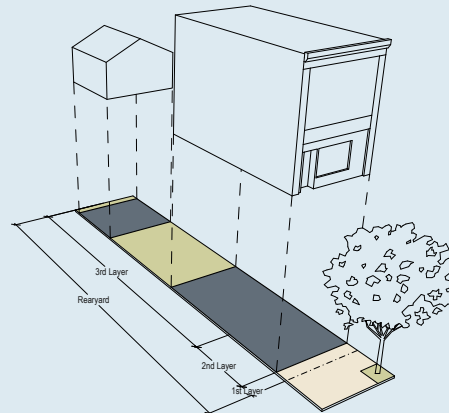
TOWNHOUSE



LARGE-FORMAT INSTITUTION



VERTICAL MIXED-USE



## 4.5.2 CORE AREA GUIDELINES

This section discusses general Design Policies and provides individual guidance to help meet these policies. The section is divided between site orientation, building design, parking design and public right of ways.

### REFERENCE GUIDE FOR REGULATORY GUIDANCE: CORE AREAS SITE ORIENTATION


REFERENCE GUIDE FOR REGULATORY GUIDANCE: CORE AREAS			
	LDC	PDO*	Include in NP UDE
SITE ORIENTATION:			
Mixture of land uses	x		
Building scale, size, coverage, height & FAR	x		
Building orientation / storefront orientation to street / street wall continuity	x		
Design features of each storefront / retail bay modulation / max. widths			
Design treatments for transition from public ROW to private space or adjacent land uses	x		x
Ground floor interior and exterior use requirements for street activation			x
BUILDING DESIGN			
Overall architectural form, character and styles			
Building façade planes, transparencies, offsets, relief, fenestration, layering of design detail and quality of materials			x
Ground floor window versus windows above ground floor	x		
Residential entries and street facing windows	x	x	
Walk-up residential entries, windows, overhangs and privacy elements		x	
Business entries, overhangs & storefront windows	x	x	x
Ground floor heights for commercial spaces			x
Fencing, walls and screens	x		
Roof design and form		x	
Integration of sustainability elements			x

REFERENCE GUIDE FOR REGULATORY GUIDANCE: CORE AREAS			
	LDC	PDO*	Include in NP UDE
Building materials			
Material colors			
Mechanical equipment	x		
PARKING DESIGN			
Off street parking, aprons & driveways	x		
Parking access on secondary or tertiary street/alley	x		
Structure parking design requirements	x		
PUBLIC RIGHT OF WAY			
Walking zone			
Streetscape plantings and furnishings			x
Street / business activation zone			x
Street furnishing zone	x		
Street lights	x		
Building lighting on / near public ROW	x		
Signage on private property facing streets	x		
Signage in the right of way	x		

\*Existing PDO guidelines will be converted to city-wide zoning or new zones and packages.

## SITE ORIENTATION

**Policy 30** *Mix of Uses: Focus future mixed-use growth areas in core areas and encourage a mix of commercial, office, and residential uses.*

-  **Guideline 30.1** Retrofit commercial corridors suburban strip centers into mixed-use transit villages and neighborhood centers
- Guideline 30.2** Identify and implement General Plan Designated Village Centers on El Cajon Boulevard (BRT) with the use of Transit Station Areas referencing the City of San Diego's Transit-Oriented Development Guidelines to structure specific Station Area Urban Design Plans.
- Guideline 30.3** Enhance and implement General Plan Designated Transit Corridors on El Cajon Boulevard and University Avenue.
- Guideline 30.4** Locate and craft urban design plans for General Plan Designated neighborhood Centers on University Avenue, 30th Street, Adams Avenue, Texas Street, and Park Avenue Transit (Bus) Station areas.

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**Policy 31** *Orientation: Create visually unified street spaces by designing the orientation of new buildings and building setbacks to define the character of the place.*

- Guideline 31.1** Orient the long side of large-format retail establishments parallel to the public street to physically define the street edge. This guidance assumes that the facade will be broken down into individual storefronts of 30' to 50' in width, with changes in design treatments to delineate individual storefronts.
- Guideline 31.2** Create a strong streetwall by locating building frontages at the property line. When setbacks from the storefront streetwall are used, the setback space must activate the sidewalk with a cafe, outdoor use or public space that incorporates amenities such as seating, green walls, or public entrances.
- Guideline 31.3** A continuous edge along a primary street shall be created through the connection of adjacent buildings or a wall that connects these buildings so as to not cause minor leftover spaces between buildings.
- Guideline 31.4** Maintain existing alleys for access. Avoid vacating alleys or streets to address project-specific design challenges.
- Guideline 31.5** At gas stations, car washes, or restaurant establishments, ensure that separate structures on the site have consistent architectural detail and design elements to provide a cohesive project site. Drive-thrus should not be permitted.

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**Policy 32** *Ground Floor Treatments: Activate the pedestrian zone by creating distinguishable, interesting, and visible storefronts.*

- Guideline 32.1** The combined ground floors of any building should be visually more prominent than the floors above. Buildings taller than two stories in particular should take care to address pedestrian scale at the ground floor. Blank walls are not acceptable as the ground level unless they are zero lot line at the sideyard.

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**Guideline 32.2**

Distinct retail storefronts must be provided every 30 feet to 50 feet on the ground floor. Changes in building material, colors, awning treatments, and offsetting planes are all methods of breaking the building mass down to a pedestrian scale. Large format retail with multiple tenants should provide distinct entrances and storefronts to improve site design legibility of entrances from the street.

**Guideline 32.3**

Public use areas such as restaurant seating, reception, waiting areas, lobbies, and retail, should be located along street-facing walls where they are visible to the passerby.

**Policy 33** *Transitions to Adjacent Properties: Design infill projects to respect neighboring building's fronts, backs, sides, scale and intensity in order to respectfully and seamlessly transition between existing neighborhood and more intensely developed areas.*

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**Guideline 33.1**

Where different land uses meet at lot edges, mitigate negative shade/shadow and privacy impacts by stepping back upper floors and avoiding direct views into neighboring homes and yards.

**Guideline 33.2**

Ensure that new buildings are compatible in scale, massing, style, and/or architectural materials with existing structures in the surrounding neighborhood.

## BUILDING DESIGN

**Policy 34** *Overall Character: Through design treatments, develop a building to be compatible with and protects and enhances North Park's distinctive character and vitality.*

**Guideline 34.1**

Maintain a human scale rather than a monolithic or monumental scale so that the building interfaces with the pedestrian environment and activates the street.

**Guideline 34.2**

Layer building architectural treatments to emphasize certain features of the building such as entries, corners, and organization of units. Entrances and arcades can be used to orient buildings towards the street and promote active and interesting streetscapes.

**Guideline 34.3**

Add architectural details to enhance scale and interest on the building façade by breaking it up into distinct planes that are offset from the main building façade.

**Guideline 34.4**

Alternate different textures, colors, materials, and distinctive architectural treatments to add visual interest while avoiding dull and repetitive facades.

**Guideline 34.5**

Treat all facades of the building with an equal level of detail, articulation, and architectural rigor.

**Guideline 34.6**


Utilize windows and balconies as character-defining features to reflect an architectural style or theme consistent with other façade elements.

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**Guideline 34.7** Windows should project or be inset from the exterior building wall and incorporate well designed trims and details that consider heat gain and shading. (Applies to second story and above)

**Guideline 34.8** Use exterior surface materials that will reduce the incidence and appearance of graffiti.

 **Guideline 34.9** Use white or reflective paint on rooftops and light paving materials to reflect heat away from buildings and reduce the need for mechanical cooling.

**Policy 35** *Commercial Ground Floor Treatments and Entries: Create prominent, primary ground floor entrances for pedestrians from the sidewalk adjacent to the street that are safe and easily accessible.*


**Guideline 35.1** Differentiate the ground floor from upper floors. Changes in massing and architectural relief add visual interest and help to diminish the perceived height of buildings. Ground floor from finished floor to ceiling treatment must be a minimum of 15 feet.

**Guideline 35.2** Highly visible lobbies are encouraged for larger buildings. Special entry treatments such as stamped or colored concrete and special planting and signage can be used to enhance entries and guide pedestrians, however, the architecture itself should make the entries legible to those on the street.

**Guideline 35.3** Ground floor retail establishments should maintain at least one street-facing entrance with doors unlocked during regular business hours to maintain an active street presence.

**Guideline 35.4** Reinforce existing facade rhythm along the street where it exists by using architectural elements such as trim, material changes, paved walkways, and other design treatments consistent with surrounding buildings.

**Guideline 35.5** Entries should be designed according to simple and harmonious proportions in relationship to the overall size and scale of the building. Ensure that store entrances are recessed, not flush, with the edge of the building facade to articulate the storefront.

 **Guideline 35.6** Include overhead architectural features such as eaves, awnings, canopies, trellises, or cornice treatments at entrances and windows that provide shade, provide passive cooling, and reduce daytime heat gain.

**Guideline 35.7** Design storefronts with a focus on window design to create a visual connection between the interior and exterior. Ensure that commercial ground floor uses provide clear and unobstructed windows, free of reflective coatings and exterior mounted gates and security grills.

**Guideline 35.8** Incorporate traditional storefront elements in new and contemporary commercial buildings by including a solid base for storefront windows. Use high quality durable materials such as smooth stucco, masonry, or stone for the window base.

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**Guideline 35.9** Avoid sunken residential entryways below street level. Residential entry design should be integrated into building facades. Where stairs are located near the main entrance, highly visible and attractive stairs should be placed in a common area such as an atrium or lobby and integrated with the predominant architectural design elements of the main building.



**Guideline 35.10** Flat roofs shall integrate solar panels whenever possible. Solar panels shall be discretely located so as to limit any visual impacts from the street or glare to adjacent properties.

**Guideline 35.11** A green roof is encouraged in order to provide open space to residents and decrease urban heat island effect.

**Policy 36** *Fencing, Walls, Screens: Fences, walls, and screens shall be used as building facades along a primary street in order to create a continuous streetwall.*

**Guideline 36.1** Ensure that fences, walls, or landscaping do not create a barrier between pedestrians and the building frontage, nor block views into buildings at the ground floor.

**Guideline 36.2** Where a parking lot abuts a public sidewalk, provide a visual screen or landscaped buffer between the sidewalk and the parking lot.

**Guideline 36.3** Use architectural features, such as decorative gates and fences, in combination with landscaping to provide continuity at the street where openings occur due to driveways or other breaks in the sidewalk or building wall.

**Guideline 36.4** Use landscape features to screen any portion of a parking level or podium that is above grade. Trees, shrubbery, planter boxes, climbing plants, vines, green walls, or berms can be used to soften views from the public right-of-way.

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## PARKING DESIGN

**Policy 37** *Provide parking that supports businesses and minimizes driveways and parking areas.*

**Guideline 37.1** Wrap parking structures with active retail uses on the ground floor.

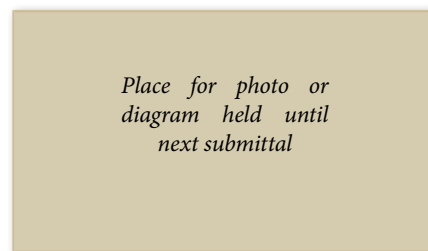
**Guideline 37.2** Consider shared parking strategies between day time and evening parking uses.

**Guideline 37.3** Parking shall not be directly accessed from the street right-of-way of the primary street. If such parking exists, it must be removed with any new construction, renovation, or modification.

**Guideline 37.4** Place on-site parking underground or to the side or rear of buildings so that parking does not dominate the streetscape. The side yard parking must be at least 10 feet back from the front yard property line, with landscape screening used in this 10' zone.





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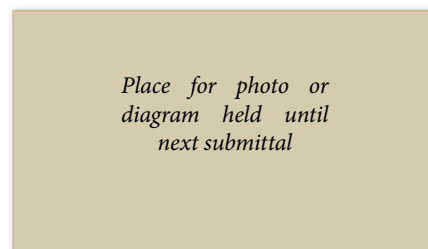
- Guideline 37.5** Maintain continuity of the sidewalk by minimizing the number of curb cuts for driveways and utilizing alleys for access and egress. Where alleys do not exist, concentrate driveway curb cuts at side streets or mid-block. Locate driveway curb cuts in a manner that does not reduce on-street parking.
- Guideline 37.6** Where alternatives to surface parking are not feasible, locate parking lots at the interior of the block, rather than at corner locations. Reserve corner locations for buildings.
- Guideline 37.7** Underground parking whenever possible. Should parking be located above ground, it should be screened with another use or designed to look like a residential or as a commercial use.



## PUBLIC RIGHT OF WAY

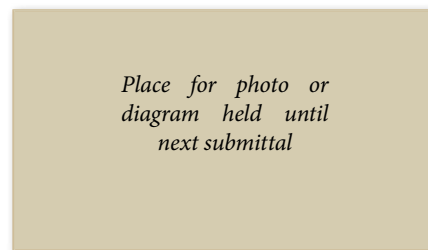
**Policy 38** *Design open space to be integrated with the building and pedestrian access.*

- Guideline 38.1** Incorporate shaded open space such as plazas, courtyards, pocket parks, and terraces with large scale commercial buildings.
- Guideline 38.2** Incorporate green walls, planting containers, and seating as a part of open space to help define cafe seating areas and other public or semi-public spaces.
-  **Guideline 38.3** Locate sidewalk restaurants or outdoor dining areas on or adjacent to open spaces and pedestrian routes. Connect shop or office entrances directly to places where people gather or walk.
-  **Guideline 38.4** Retain and protect mature and healthy trees when developing a site.
-  **Guideline 38.5** Facilitate stormwater capture, retention, infiltration, and lowered runoff by using permeable or porous paving materials in lieu of concrete or asphalt. Collect, store, and reuse stormwater for landscape irrigation.
-  **Guideline 38.6** Install bicycle racks and lockers, especially where bike routes are existing or planned. Ensure bicycle racks are placed in a safe, convenient, and well-lit locations.



**Policy 39** *Lighting & Security: Provide a continuous lighting level and minimize contrast and glare.*

- Guideline 39.1** Install lighting fixtures to accent architectural details. Shielded wall sconces and angled uplighting can be used at night to establish a façade pattern and highlight a building's architectural features.
- Guideline 39.2** Utilize adequate, uniform, and glare-free lighting, such as dark-sky compliant fixtures, to avoid uneven light distribution, harsh shadows, and light spillage onto adjacent properties.



### 4.5.3 MIXED-USE CORRIDORS

Mixed-use corridor areas connect core areas in Greater North Park. These corridors include buildings that are less intense in use than the core areas but are still primarily commercial in nature. The mixed use corridor areas include storefronts that support every day retail for the adjacent neighborhoods and provide a walking and biking focused connection from core area to core areas.

#### CHARACTER DEFINING FEATURES OF THE MIXED USE CORRIDORS

North Park's major transportation corridors did start with influence from the electric streetcar, but evolved to a vehicular-based scale associated with the highway era of El Cajon Boulevard. What started as the sensitive scale and extension of main streets along these corridors, eroded overtime and were replaced with corporate branded buildings set back from the street and made subservient to parking lots and vehicular scaled signage. However, enough of the remnant buildings are intact to elicit the desire to bring this scale back to these streets, since the auto-oriented commercial strip development patterns are so common throughout the rest of San Diego. Some of the remnant elements of importance include all of the features listed under the commercial core except for:

1. More flexibility in the scale and building street frontage widths.
2. The use of simple forms such as art deco and streamline moderne.
3. The use of a broad range of building materials.
4. A variety of building scales, setbacks, frontage insets and other site plan variations.
5. A pedestrian scale that is larger than the residential scale of neighborhoods, but not monumental scales that overpower adjacent land uses.
6. Where residential occurred in this area, they were generally setback from the street by gardens, garden walls, courtyards and other setbacks to provide a buffer.

# Mixed-Use Corridors 1: *The building uses encourage the combination of residential and other less commercial uses.*

**Common Entry** facade may be set back from the frontage line with an elevated garden or terrace. This type can effectively buffer residential quarters from the sidewalk, while removing the private yard from public encroachment. The terrace is suitable for restaurants and cafes as the eye of the sitter is level with that of the standing passerby.

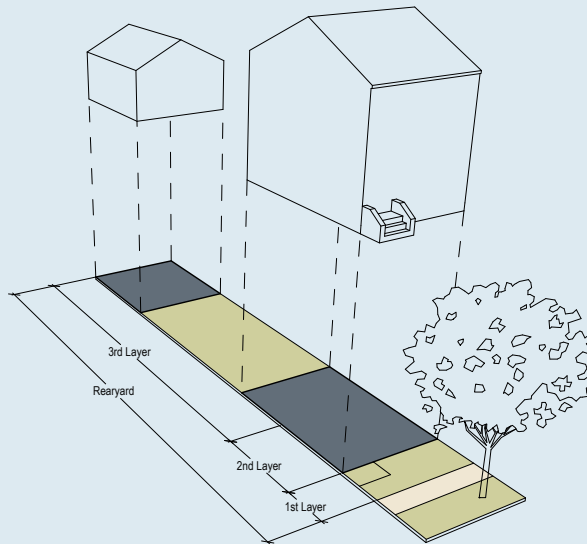
The **Stoop** facade is aligned less close to the frontage line with the ground story elevated from the sidewalk, securing privacy for the windows and gardens.

The **Porch & Fence** facade is set back from the frontage line with an encroaching porch appended. The porch should be within a conversational distance of the sidewalk, while a fence at the frontage line maintains the demarcation of the yard. A great variety of porches is possible, but to be useful, none should be less than 8 ft wide.

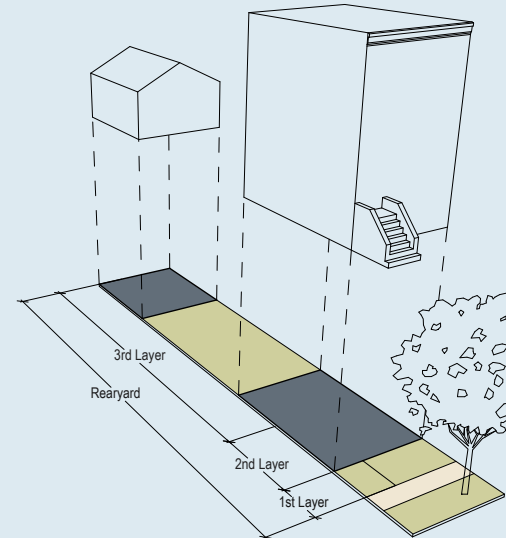


# Mixed Use Corridor 2: *These dense multi-functional areas connect residential areas and Core areas.*

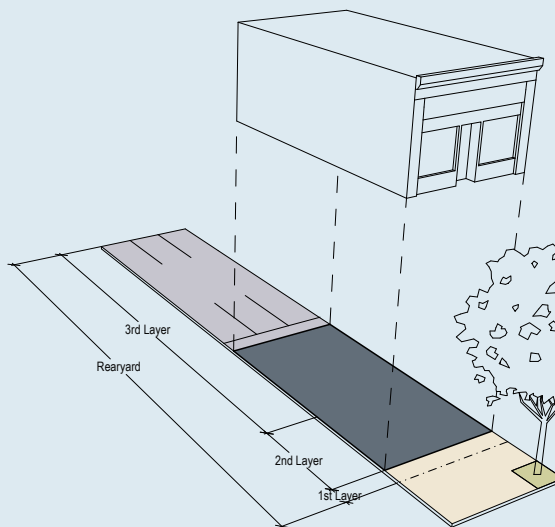
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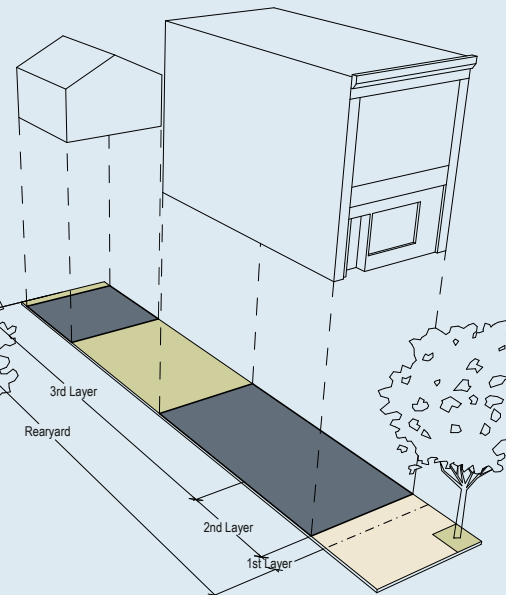
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SHOPFRONT



VERTICAL MIXED-USE



#### 4.5.4 MIXED-USE CORRIDOR GUIDELINES

The section includes discussions on site orientation, building design, parking design and public right of way improvements in mixed-use corridors.

#### REFERENCE GUIDE FOR REGULATORY GUIDANCE: MIXED-USE CORRIDORS

REFERENCE GUIDE FOR REGULATORY GUIDANCE: MIXED USE CORRIDORS			
	LDC	PDO *	Include in NP UDE
SITE ORIENTATION:			
Mixture of land uses	x		
Building scale, size, coverage, height & FAR	x		
Building orientation / storefront orientation to street / streetwall continuity		x	
Design features of each storefront / retail bay modulation / max. widths		x	
Design treatments for transition from public ROW to private space or adjacent land uses	x		x
Ground floor interior and exterior use requirements for street activation			x
BUILDING DESIGN			
Overall architectural form, character and styles		x	
Building façade planes, transparencies, offsets, relief, fenestration, layering of design detail and quality of materials			x
Ground floor window versus windows above ground floor	x	x	
Residential entries and street facing windows		x	
Walk-up residential entries, windows, overhangs and privacy elements		x	
Business entries, overhangs & storefront windows	x		
Ground floor heights for commercial spaces			x
Fencing, walls and screens	x		
Roof design and form			x
Integration of sustainability elements			x
Building materials		x	x
Material colors			
Mechanical equipment	x		


REFERENCE GUIDE FOR REGULATORY GUIDANCE: MIXED USE CORRIDORS			
	LDC	PDO *	Include in NP UDE
PARKING DESIGN			
Off street parking, aprons & driveways	x		
Parking access on secondary or tertiary street/alley	x	x	
Structure parking design requirements	x		
PUBLIC RIGHT OF WAY			
Walking zone		x	x
Streetscape plantings and furnishings	x	x	x
Street / business activation zone			x
Street furnishing zone			x
Street lights		x	x
Building lighting on / near public ROW			x
Signage on private property facing streets		x	x
Signage in the right of way		x	x


\*Existing PDO guidelines will be converted to city-wide zoning or new zones and packages.



## SITE ORIENTATION

**Policy 40** *Provide a defined edge through the use of a wall or fence so that buildings contribute to a block's continuity.*


 **Guideline 40.1** Storage/work areas should be shielded on all sides by solid walls or screening. These walls/screens should be varied in setback, materials, and color to maintain visual interest. Landscaping on the exterior of the wall can also be used to add texture and form. Chain link fencing and barbed wire are not prohibited.


 **Guideline 40.2** In the case of automotive repair businesses, vehicle parking/storage areas should be screened from public view by a wall; low walls of at least three feet in height can be used in front yards, whereas high walls should be used on side and rear yards.


**Policy 41** *Orient buildings to the street to frame the street, any plazas, or parks by matching adjacent building setbacks. Corner buildings should address both streets they front.*

**Guideline 41.1** Buildings should orient to the street to frame the street or any plazas or parks on the street by matching adjacent building setbacks. Corner buildings should address both streets they front.

**Guideline 41.2** Buildings should provide a connection from the public sidewalk to any new buildings via a walkway of some kind.

 **Guideline 41.3** New projects should provide as much side and rear set back as possible to preserve outdoor space. Using porches, balconies, arcades, etc. can preserve privacy and relate to the scale of existing buildings.

 **Guideline 41.4** Visual continuity along the street should remain unbroken particularly for new projects that have commercial uses.

 **Guideline 41.5** Maintain the original front yard setback distance in older single-family neighborhoods through CPIOZ where setbacks were historically set deeper on residential streets within single-family zoned areas such as on Spruce Street, Dale Street, 28th Street, and Pershing.

**Policy 42** *Ground Floor Treatments: For residential ground floor, open spaces should be considered private use but contribute to the public realm in order to increase social interaction and presence of “eyes on the street”.\**

**Guideline 42.1** Activation of the storefront/sidewalk in front of retail space, commercial terrace, is encouraged but should be separated from the walking area by a divider.

**Guideline 42.2** Open spaces are encouraged and any front setback area greater than 2 feet should be used to activate the public realm.

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**Guideline 42.3**

Open spaces should provide seating areas or outdoor fireplaces to encourage gathering. These spaces should encourage activity and should incorporate permeable paving and landscaping.

**Guideline 42.4**

Open spaces should be visible to people passing on the street but does not need to be accessible to passersby.

\*Retail ground floor treatments should refer to Policy 35.

## BUILDING DESIGN

**Policy 43** *Ensure that new buildings within mixed-use corridors are developed*

**Guideline 43.1**

New buildings should consider their surrounding context and respond with design in a way that positively influences the neighborhood character. If the surrounding context has a specific dominant architectural style, new projects should address some of these existing architectural styles.

**Guideline 43.2**

Buildings should consider the massing and scale of adjacent buildings. New projects should respond to context through design.

**Guideline 43.3**

Relate the height of new buildings to the height of existing development through the use of vertical and horizontal offsets and other architectural features. Transition between buildings is key.

**Guideline 43.4**

Side and rear elevations of new buildings should be designed with as much quality as the front facade and incorporate windows while respecting the need for light, air and privacy of existing buildings.

**Guideline 43.5**

Buildings with a roof form or profile similar to surrounding buildings should be required to strengthen the visual continuity of a block.

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**Policy 44** *Create a rhythm of ground floor entries from the sidewalk that provide visual interest at the ground floor.*

**Guideline 44.1**

Provide an entry every fifty feet. Massing and architectural relief should add visual interest and help distinguish entries.

**Guideline 44.2**

Entries should be distinct and clearly identifiable for multi-family units. Special entry treatments should be used in paved surfaces to identify the entry.

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## PARKING DESIGN

**Policy 45** *Design commercial parking areas to minimize impact on the public realm.*

**Guideline 45.1**

Locate parking lots in the rear of a lot whenever possible and provide via the side street or alley.

- Guideline 45.2** Discourage surface parking along major streets. If parking must be provided adjacent to any sidewalk, it should be behind the main building structures and a low wall and trees must line the exposed edges of any sidewalk.
- Guideline 45.3** Create shared entry drive aisles whenever possible, breaks in the curb are highly detrimental for the pedestrian experience and create hazards for accessibility.

## PUBLIC RIGHT OF WAY

**Policy 46** *Cafe seating and outdoor sale racks are encouraged to activate the pedestrian zone.*

- Guideline 46.1** Provide a minimum clear walking width of four feet for accessibility.

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### 4.5.5 CONSISTENT CHARACTER AREAS

Much of North Park (south of North Park Way/Landis Street) is made up of neighborhoods with consistent character. Pockets of consistent character also exist along Monroe and Madison Avenues and along the Mission Valley canyon edge, north of Adams Avenue. Although many forms of architectural character exist in these neighborhoods, all contain a level of design quality and detailing that was largely consistent from the 1910s through the 1950s. Originally, most of North Park had a relatively consistent character, but much of the center of the community changed dramatically in the 1960s through the 1980s. Though design and style variations occur even in consistent neighborhoods, these variations all are perceived as being part of the same historic period and are typically of the same scale and use of similar materials and design detail.

#### CHARACTER DEFINING FEATURES OF CONSISTENT CHARACTER AREAS

The section discusses historic styles but it is not intended to prescribe imitation of these styles. The intent is to identify the unique elements found in neighborhoods of consistent character that should be integrated into new design expressions. The common elements that should be recognized include:

1. A human scale of building elements including building mass and overall height.
2. Orientation to the street with entries, porches, living rooms, family rooms, multiple windows, and design detailing expressing itself to the public street.
3. The use of parkways, yards, enclosed patios, stoops, porches, overheads and alcoves that transition the public street to the private interior.
4. The de-emphasis of vehicular parking and garages with long driveways to the side, garages at the end of these drives off the alley.
5. Attention to detail in terms of window, door and building siding; with most windows divided with lites, sashes, framing and insets; doors with glass, insets and ornamentation; and building siding with horizontal jointing, panel scoring, overlapping materials, or plaster ornamentation.
6. Variation in roof forms and building mass that are simple in geometry and expressive in silhouetting against the sky and are commonly repetitive in alternating forms with various proportionate scales.
7. Simple building materials common to the time period including mostly wood, stucco, and plaster.
8. A horizontal orientation with building massing, multiple side by side window sets, building siding with horizontal lines, fenestration sets of joints and openings that stretch the form to horizontal orientation.

North Park saw its most significant residential growth in the first half of the 20th Century. Subdivisions such as Burlingame, Altadena, Lynhurst, Wallace Heights, and Park Villas developed with similar block patterns and architectural styles. Some of the styles dominant in these developments include:

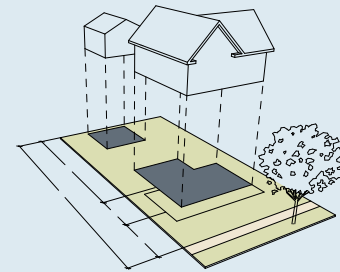
- Spanish Colonial Renaissance
- Mission Revival
- Italian Renaissance and Mediterranean Styles
- Beaux-Arts
- Neoclassical and Simplified Victorian
- Craftsman and California Bungalow
- Art Deco
- Prairie and other Gill Style Cubism

# Consistent Character Areas:

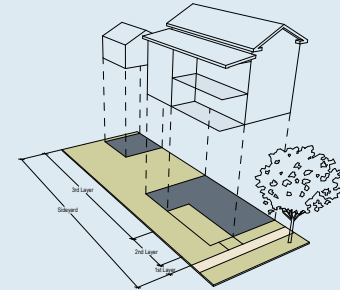
*These single-family residential areas are the places in the community with the most consistent character.*

In these neighborhoods, building facades are set back substantially from the frontage line. The idea of the larger frontyard setback is to simulate buildings sitting in a common lawn or front yard. Social interaction from the street may be difficult if the distance is too great. A variation of this is the porch and fence arrangement. If a porch is added, it closes the distance and provides a setting for greater social interaction. A fence at the frontage line maintains the demarcation of the yard and provides some definition of the semi-private area. Too tall of a fence will cut-off the interaction capability.

SMALL LOT - RESIDENTIAL



SIDEYARD - RESIDENTIAL



ELEVATION	SECTION		PLAN	
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE

Common Lawn

Porch & Fence

#### 4.5.6 CONSISTENT CHARACTER GUIDELINES

The section is divided between site orientation, building design, parking design and public right of ways.

#### REFERENCE GUIDE FOR REGULATORY GUIDANCE: CONSISTENT CHARACTER AREAS

REFERENCE GUIDE FOR REGULATORY GUIDANCE: CONSISTENT CHARACTER AREAS			
	LDC	PDO*	Include in NP UDE
SITE ORIENTATION:			
Lot size, dimensions, setbacks, height, coverage, etc.	X	X	
Building envelopes, envelope angle, setbacks and setback encroachments	X		X
Lot size, lot consolidation, building size, site coverages and FAR	X	X	
Building orientation to the street, alleys and neighbors			X
Private exterior open space (incl. balconies)	X		
Common/shared open space	X		X
Landscape coverage, plant material size, min. coverages	X		X
Accessory and storage buildings	X		
BUILDING DESIGN			
Overall building massing, scale, & roof forms	X		X
General architectural projections (such as trellises, wing walls, site walls, fencing, porches, balconies, entry arbors, etc.)	X		X
Façade projections/modulation (within setback)	X		X
Fence / wall location, height, transparency & materials	X		
Roofed entries, garage door setbacks, min. transparency, elevated floors		X	
Window and doorway fenestration			X
Architectural elements and styles		X	X
Spacing and orientation of entries		X	
Roof design			X
Mechanical equipment screening (within setback(LDC)/in general (PDO))	X		
Building materials			X
Material colors			

REFERENCE GUIDE FOR REGULATORY GUIDANCE: CONSISTENT CHARACTER AREAS			
	LDC	PDO*	Include in NP UDE
PARKING DESIGN			
Parking ratios and parking standards	X		
Parking site design, incl. driveway width and apron width	X	X	
Garages/uninhabitable structures (within setback)	X		
Garage doors/ garage setback	X		X
FAR bonuses for enclosed/underground parking		X	
PUBLIC RIGHT OF WAY			
Walking zone		X	X
Streetscape plantings and furnishings	X	X	X
Street furnishing zone			X
Street lights		X	
Signage in the right of way		X	

\*Existing PDO guidelines will be converted to city-wide zoning or new zones and packages.



## SITE ORIENTATION

**Policy 47** *Consider the scale and orientation of surrounding structures when developing an infill property or companion unit.*



**Guideline 47.1** If developing a multi-family property and the property on either side yard is zoned for single family use with a single story, increase second floor stepbacks by an additional 5 feet for the second floor, 10 feet for the third floor, and 15 feet above three stories. If properties on either side are zoned for multi-family, follow existing guidelines in the LDC and Mid-Cities PDO.

**Policy 48** *Articulate building facades to add scale and visual interest.*

**Guideline 48.1** Residential building facades (facing the front yard) should not extend 25 feet in length without an offset of at least 2 feet. This articulation applies to buildings even within required property setbacks.

**Policy 49** *Orient multiple features of a building to the street to provide a visual and physical transition between the two.*

**Guideline 49.1** The building facade facing the street must provide visibility from the building to the street. Visibility can be achieved through placement of multiple windows in the street-facing facade of the building.

**Guideline 49.2** The building design should help activate the street edge and provide surveillance of the public realm. Activity can be achieved by providing main entry access through the front yard and incorporating porches, patios, sitting areas, etc. within the front yard.

**Guideline 49.3** Fencing placed on the front yard property line, or between the property line and the front yard setback shall not exceed four feet in height, regardless of transparency.

**Policy 50** *The area between public and private space should be gradual - incorporating elements such as fencing, landscaping, and hardscape to create a transition with multiple layers.*

**Guideline 50.1** Residential properties should employ front yard features such as trellises, wing walls (attached to building), garden walls (free standing), retaining walls with terracing, porches or patios, or short fencing (with transparency) that are typically found in consistent character areas in North Park in order to create a visual transition between existing and new development.

**Policy 51** *Integrate open space into the design of buildings and consider the orientation of surrounding structures when planning private open space areas.*



**Guideline 51.1** Align open space on the subject property to existing open space on adjacent properties to create visually contiguous view corridors and spatial arrangements instead of non-usable side yards.

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**Guideline 51.2**

If developing a multi-family property, utilize open fencing or semi-transparent fencing between aligned portions of open space between the individual properties to create a visually unified open space, even if on separate parcels.

**Guideline 51.3**

If developing a multi-family property with a central courtyard, leave the street-facing facade open, in order to provide visual access from the street into the courtyard. This configuration mirrors the historical development pattern of the bungalow courtyards prevalent throughout North Park and increases the potential for interaction between public and private space.

**Policy 52** *Maintain a consistent level of landscape coverage, with a variety of plant sizes and species to enhance the aesthetic of the neighborhood and contribute to the public/private interface.*

**Guideline 52.1**

Single-family properties should utilize the same landscape regulations required of multi-family properties by the LDC in terms of landscape coverage and diversity.

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## BUILDING DESIGN

Community character is established as a composite of many individual buildings. Although North Park hosts a myriad of styles, the most consistently observed style is that of California Bungalows, Craftsman and its variations including neo-classical row homes. The second through fourth most common styles include Spanish Colonial Revival, Mission Revival, and Minimal Traditional (Gensler, 2004). New construction should explore new stylistic interpretations of these traditional architectural styles without copying them. Below are guidelines highlighting the characteristic elements of these styles, which will relate modern reinterpretations to adjacent existing buildings.

**Policy 53** *Buildings should compliment the building forms and character of existing buildings on the same block.*

**Guideline 53.1**

Each residential building shall include a minimum of 5 elements from one of the following lists, as defined by the character of the majority of existing buildings on the same block:

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### California Bungalow/Craftsman

1. Lap siding on a minimum of all street elevations
2. Entry porch
3. Minimum 18 inch eaves with articulated rafter ends
4. A minimum of one attic eyebrow
5. Wood window frames
6. A minimum of one brick masonry chimney
7. Multi-panel entrance door
8. A minimum of one window planter box
9. Operable window shutters on a minimum of all windows facing the street

10. Trim surrounding all windows with window insets using sash style windows
11. Low-pitched gabled roof with wide unenclosed eave overhangs, exposed roof rafters and repeating roof forms with successive setbacks.

### Spanish Colonial Revival

1. Stucco or plaster exterior
2. Wrought iron railings on a minimum of all street-facing elevations
3. Entrance pergola or arbor
4. Canvas awnings or tiled extensions on a minimum of all windows facing the street
5. Integral ceramic tile wall placed into facades
6. Buttresses and garden walls tied into main structure
7. Wood window frames
8. Clay or concrete tile roof over at least 80 percent of the coverage
9. A minimum of 2 different mass heights
10. Battered window openings with a minimum of 6 inches depth on a minimum of all street facing windows
11. Molded stucco wall details

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### Mission Revival

1. Mission-style parapet with half arches or stepdowns
2. Flat roof hidden by parapet walls
3. Stucco-clad exterior
4. Covered or recessed front entry
5. Three-part window systems for street-facing facades
6. Buttresses and garden walls tied into main structure
7. Structural towers or elevated entry ways with a different roof line

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### Minimal Traditional

1. Low-pitch hipped roof
2. Stucco-clad exterior
3. Double-hung windows with two panes per sash, divided horizontally
4. Fixed wood windows with four equal horizontal panes
5. Windows placed towards the corners of the building
6. Shed roof/hipped roof covered entry/entry porch


The proportion of windows to the remainder of the facade is a major determinant of a building's character. The period during which many of North Park's buildings were constructed utilized windows that are small by today's standards, but provide a sense of history, human scale and help to accentuate other aspects of the building.

**Policy 54** *Maintain the window sizing and proportionality of the established character of North Park*

**Guideline 54.1** Include windows along all walls visible from the public realm. Avoid blank walls visible to the street.

**Guideline 54.2** No residential buildings shall utilize window panes larger than 4 feet in width without breaking them into multiple panels using divided lights or multiple panes. Multi-pane windows shall separate panes by means of scoring, panels, lines, or hardware. An exception is allowed for 1 feature window, which is allowed to measure a maximum of 6 feet (in height and/or width). Architectural accents, such as an arch, are encouraged for feature windows.

**Guideline 54.3** Recess all street-facing window glass a minimum of 3 inches from the exterior wall surface.

 **Guideline 54.4** Windows on the second floor (or above) of a residential building facing the side yard, shall be offset at least 100% from windows on the same floor of an adjacent property in order to maintain privacy.

**Policy 55** *Use building materials consistent with the period and presence found in the neighborhoods.*

**Guideline 55.1** Common materials include wood, stone, stucco, plaster and untinted glass, with clay tile roofs or wood or wood like shingles.

**Guideline 55.2** Other materials can be used for accents or variation, but should not cover more than 25% of the overall building vertical wall square footage. Galvanized metal, perforated metals, brick, precision cut block, split face block, masonry units, tinted windows, steel framed windows and other wall and window materials were not common and should be limited to accent areas.

**Policy 56** *Roof design should be compatible with, but not necessarily imitate the common roofs found in the neighborhood*

**Guideline 56.1** Mixing of multiple roof types should be avoided. Simple repeating geometry with accentuation of the entry area is the overall goal for roof design.

**Guideline 56.2** Simple hip roofs, gables, and parapet enclosed flat roofs are encouraged. All roof design should stress the horizontal arrangement of the building instead of emphasizing the vertical. Vertical expressions should be limited to the entry area along the front facade.

**Guideline 56.3** Second floor roofing should be repeated at some scale on the first floor in areas where building extensions occur or where second floor setbacks and side yard setbacks occur.

## PARKING DESIGN

Modern residential trends place a higher priority on private, enclosed automobile parking than in previous generations. Garages and garage doors can influence the character of a structure based on size alone. Therefore, careful thought should be given to both garage placement

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and design to not allow it to dominate the character of the home.

**Policy 57** *Garages should not dominate the facade of a residential building based on scale or position.*

- Guideline 57.1** Where possible, garages should be detached from the primary building and located along the rear property line of the lot. For lots with alley access, the garage should be accessed from the alley. For lots without alley access, side-yard driveways are encouraged.
- Guideline 57.2** Car ports, defined as a covered automobile parking space with at least one unenclosed side, are not allowed unless such parking is accessed solely from an alley or is located at least 10 feet back from the front of the building mass, down a side driveway.
- Guideline 57.3** Garage doors should have an articulated, multi-panel design. The level of detailing and materials used in the garage door should also relate to the main building. Metal, aluminum or vinyl garage doors are not recommended unless they are painted to match other colors of the primary building.

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## PUBLIC RIGHT OF WAY

**Policy 58** *The area between the curb and the property line should be designed to enhance pedestrian comfort, encourage pedestrian use, and enhance neighborhood aesthetics.*

- Guideline 58.1** In single-family zones, parkways shall be created between the back of curb and the edge of sidewalk. Parkway shall be a minimum of 3 feet in width with an ideal width of 6 feet. Where existing right-of-way cannot accommodate both the City-mandated 4 foot wide sidewalk and a 3 foot parkway, no parkway is required and a widened sidewalk is allowed.
- Guideline 58.2** In single-family zones, parkways shall be delineated from the sidewalk by means of vegetation, gravel, pavers/bricks, stone or other decorative groundcover or pavement. Paving of the parkway shall not be allowed, except when the parkway is less than 2 feet in width. If the parkway is paved, it shall not be with concrete matching the adjacent sidewalk construction. Delineation of the space is required by the use of a different color, pattern or texture of the infill concrete. In no cases shall asphalt paving of parkways be allowed. Bricks, pavers and tile are preferred over continuous concrete.
- Guideline 58.3** In multi-family zones, street furnishings shall be concentrated at street intersections rather than mid-block. Street furnishings shall be located between the back of curb and beginning of sidewalk in the furnishings zone. Furnishings may consist of benches, trash/recycling receptacles, periodical dispensaries, lighting, and informational kiosks. In no cases shall these items be placed within the required sight triangles of the adjacent intersection nor encroach on the walkway. A minimum of 40 inches of passing distances is required at all locations.

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### 4.5.7 DIVERSE CHARACTER AREAS

Some of North Park's neighborhoods have changed well beyond the addition of a few new buildings and the loss of older buildings that gave the area some of its original character. The 1960s, 1970s and 1980s were not especially sensitive to design treatments or the character of North Park. In fact, so much changed that there is no longer a dominant and consistent character in these neighborhoods. Large areas of North Park north of University Avenue, South of Adams Avenue, east of Boundary Street to I-805, are considered diverse character areas. These areas are primarily residential, although they do include isolated commercial/offices. Overall, the character change has resulted from changes in scale, style, form and building materials that are in contrast with neighborhood origins. As such, preserving or enhancing character is no longer the focus. Raising the importance of design in these areas should be the new focus.

The design guideline intent in these diverse character areas is to encourage the replacement of poor examples of design with higher levels of creative and well thought out designs and materials. Though area specific guidelines are included in this section, an overall goal is to facilitate new development by not creating excessively restrictive barriers. However, some guidance is still needed to help improve the design quality of the area. As such, new development of a wide variety of types will not disrupt a dominant existing character since it does not really exist. New development can add to the tapestry of styles already present in this district.




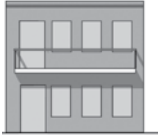
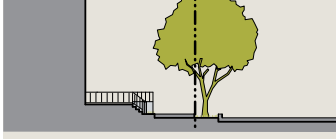
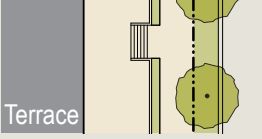

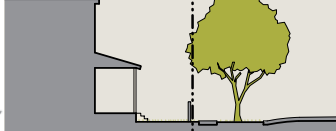
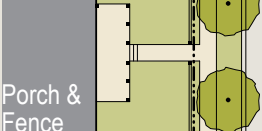
### CHARACTER DEFINING FEATURES OF DIVERSE AREAS

Since consistent character is missing, this section describes more of what should be included in new development rather than what exists in the neighborhood that should be repeated. The following guidelines are intended to allow for the greatest flexibility in design control and to encourage innovation and new investment:

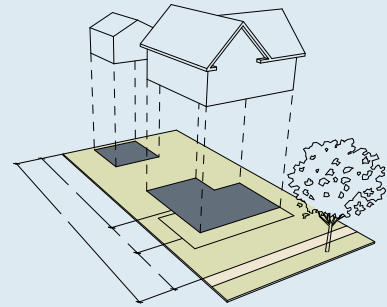
1. Always remember human scale and how it is expressed in design, detailing and fenestration of building elements.
2. Respect adjacent properties that are much smaller in scale by making sensitive transitions that recognize height stepdowns, access to sun, air and privacy. This would also include variations in building planes and rooflines to create visual interest and maintain a sense of scale.
3. Provide the proper street presence by embracing the pedestrian environment, decreasing the dominance of the vehicular portions of the site and helping the street to become more than a place to drive and park a vehicle. This includes the provision of entries, windows, balconies, porches, yards, patios and other features oriented to the street.

# Diverse Character Areas: *These residential areas are a patchwork of densities, scales and architectural styles. There is much potential, but no single character.*

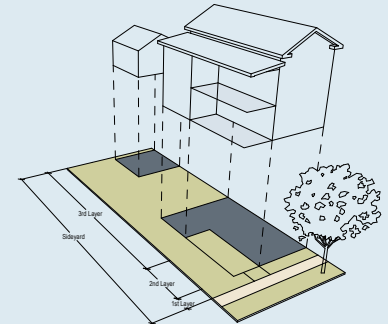
Building facades should be set back moderately from the Frontage line. Smaller front yards have the effect of creating a more urban environment. Social interaction is enhanced by well-designed front yards, which provide a natural public-to-private transition. Stoops, terraces, porches, and fenced yards all offer varying levels interactive space. Late 20th Century site design prioritized automobile parking in the front yard, leading to a collective deficit of interactive space. The 21st Century must reverse this trend and reclaim these spaces for North Park's residents.

ELEVATION	SECTION		PLAN	
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
				
			Stoop	
				
			Terrace	
				
			Porch & Fence	

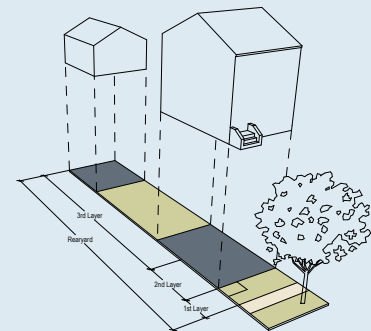
SMALL LOT - RESIDENTIAL



SIDEYARD - RESIDENTIAL



TOWNHOUSE - RESIDENTIAL





#### 4.5.8 DIVERSE CHARACTER AREA GUIDELINES

The section includes discussions on site orientation, building design, parking design and public right of way improvements in diverse character areas.

#### REFERENCE GUIDE FOR REGULATORY GUIDANCE: DIVERSE CHARACTER NEIGHBORHOODS

REFERENCE GUIDE FOR REGULATORY GUIDANCE: DIVERSE CHARACTER NEIGHBORHOODS			
	LDC	PDO*	Include in NP UDE
SITE ORIENTATION:			
Lot size, dimensions, setbacks, height, coverage, etc.	x	x	
Building envelopes, envelope angle, setbacks and setback encroachments	x		
Lot size, lot consolidation, building size, site coverages and FAR	x		
Building orientation to the street, alleys and neighbors			x
Private exterior open space (incl. balconies)	x		
Common/shared open space	x		x
Landscape coverage, plant material size, min. coverages	x		
Accessory and storage buildings	x		
BUILDING DESIGN			
Overall building massing, scale, & roof forms	x		
General architectural projections (such as trellises, wing walls, site walls, fencing, porches, balconies, entry arbors, etc.)	x		x
Façade projections/modulation (within setback)	x		
Fence / wall location, height, transparency & materials	x		
Roofed entries, garage door setbacks, min. transparency, elevated floors		x	
Window and doorway fenestration			
Architectural elements and styles		x	
Spacing and orientation of entries		x	
Roof design			
Mechanical equipment screening (within setback(LDC)/in general (PDO))	x		
Building materials			
Material colors			

REFERENCE GUIDE FOR REGULATORY GUIDANCE: DIVERSE CHARACTER NEIGHBORHOODS			
PARKING DESIGN			
Parking ratios and parking standards	X		
Parking site design, incl. driveway width and apron width	X	X	
Garages/uninhabitable structures (within setback)	X		
Garage doors/ garage setback	X		
FAR bonuses for enclosed/underground parking		X	
PUBLIC RIGHT OF WAY			
Walking zone		X	X
Streetscape plantings and furnishings	X	X	X
Street furnishing zone			X
Street lights		X	
Signage in the right of way		X	

\*Existing PDO guidelines will be converted to city-wide zoning or new zones and packages.

## SITE ORIENTATION

**Policy 60** *Articulate building facades to add scale and visual interest.*

**Guideline 60.1** Extend residential building facades farther than 25 feet in length without an offset of at least 2 feet. This articulation applies to buildings even within required property setbacks.

**Policy 61** *Orient multiple features of a building to the street to provide a visual and physical transition between the two.*

**Guideline 61.1** The side of a building facing the street should provide visibility from the building to the street and activate the space between, where possible. Visibility can be achieved through placement of multiple windows in the street-facing facade of the building. Activity can be achieved by providing main entry access through the front yard and incorporating porches, patios, sitting areas, etc. within the front yard. This approach invites social interaction that increases neighbor cohesiveness.

**Guideline 61.2** Fencing placed on the front yard property line, or between the property line and the front yard setback shall not exceed three feet in height, regardless of transparency. For fences placed further than the front yard setback, follow guidance from the LDC.

**Policy 62** *The area between public and private space should be gradual - incorporating elements such as fencing, landscaping, and hardscape to create a transition with multiple layers.*

**Guideline 62.1** Employ various architectural features such as trellises, wing walls (attached to building), garden walls (free standing), retaining walls, porches, fencing, and arbors in the front yard to create visual transitions between new and existing development.

**Policy 63** *Integrate open space into the design of buildings and consider the orientation of surrounding structures when planning private open space areas.*



**Guideline 63.1**

Consider aligning open space on the property to other existing open space on adjacent properties to create visually contiguous view corridors and to lessen creation of non-usable side yards.



**Guideline 63.2**

If developing a multi-family property, consider open fencing or semi-transparent fencing between aligned portions of open space between the individual properties to create a visually unified open space, even if on separate parcels. (verify with Bernie if this is the intent)

**Guideline 63.3**

If developing a multi-family property with a central courtyard, consider leaving the street-facing facade open, in order to provide visual access from the street into the courtyard. This configuration mirrors the historical development pattern of the bungalow courtyards prevalent throughout North Park and increases the potential for interaction between public and private space.

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**Policy 64** *Maintain a consistent level of landscape coverage, with a minimum variety of plant sizes and species to enhance the aesthetic of the neighborhood and contribute to the public/private interface.*

**Guideline 64.1**

Single-family properties are encouraged to abide by the same landscape regulations required of multi-family properties by the LDC in terms of landscape coverage and diversity.

## BUILDING DESIGN

**Policy 65** *Encourage a variety of building materials and patterns.*

**Guideline 65.1**

Residential buildings shall not use reflective metal and/or glass as an exterior finish in excess of 30 percent of total exterior building area (excluding roof area).

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## PARKING DESIGN

**Policy 66** *Parking should be present, but not dominant. It should be convenient but not dominate the primary building.*

**Guideline 66.1**

Parking garages will only be allowed at least 5' behind the primary facade of the house as measured from the front line.

**Guideline 66.2**

Driveways that are located down one edge of the property are encouraged, with or without an enclosed garage.

**Guideline 66.3**

Garage doors should contain multiple materials, colors or design layout. The intent is to break the typical pattern of suburban garage doors through the used of a limited palette of natural building materials and door fenestration. No more than 100 square feet of garage door space should be of the same material or on the same plane. Simple glass panels, banding, insets and other veneers will be allowed to break down the overall scale of these building elements.

- Guideline 66.4** Access aprons to driveways or other off-street parking lots will be no larger than 14' in width, with only one access apron per property unless the property frontage is greater than 100' long.

## PUBLIC RIGHT OF WAY

- Policy 67** *The area between the street and the property line should be designed to enhance pedestrian comfort, encourage pedestrian use, and enhance neighborhood aesthetics.*

- Guideline 67.1** In single-family zones, parkways shall be created between the back of curb and the edge of sidewalk. Parkway shall be a minimum of 3 feet in width. Where existing right-of-way cannot accommodate both City-mandated 4 foot wide sidewalk and a 3 foot parkway, then no parkway is required and a widened sidewalk is encouraged.
- Guideline 67.2** In single-family zones, parkways shall be delineated from the sidewalk by means of vegetation, gravel, pavers/bricks, or other decorative groundcover. Paving of the parkway shall not be allowed, except when the parkway is less than 3 feet in width. If the parkway is paved, it shall be with concrete matching the adjacent sidewalk construction. In no cases shall asphalt paving of parkways be allowed.
- Guideline 67.3** In multi-family zones, street furnishings shall be concentrated at street intersections rather than mid-block. Street furnishings shall be located between the back of curb and beginning of sidewalk. Furnishings may consist of benches, trash/recycling receptacles, periodical dispensaries, informational kiosks, etc. In no cases shall these items be placed within the required sight triangles of the adjacent intersection.

*Place for photo or  
diagram held until  
next submittal*